

OCT 24 2016

REQUEST FOR AGENDA PLACEMENT FORM

Submission Deadline - Tuesday, 12:00 PM before Court Dates

SUBMITTED BY: David Disheroon

TODAY'S DATE: 9/30/2016

DEPARTMENT:

X Public Works

SIGNATURE OF DEPARTMENT HEAD:

X _____

REQUESTED AGENDA DATE:

X October 24, 2016

SPECIFIC AGENDA WORDING: Consideration to grant a variance for 3012 CR 919, Burleson for a residence and ½ bath in barn on one new septic system, located in Precinct 2.

PERSON(S) TO PRESENT ITEM: David Disheroon

SUPPORT MATERIAL: (Must enclose supporting documentation)

TIME: Ten Minutes

ACTION ITEM: X

WORKSHOP: _____

(Anticipated number of minutes needed to discuss item) CONSENT: _____

EXECUTIVE: _____

STAFF NOTICE:

COUNTY ATTORNEY: _____ ISS DEPARTMENT: _____

AUDITOR: _____ PURCHASING DEPARTMENT: _____

PERSONNEL: _____ PUBLIC WORKS: _____

BUDGET COORDINATOR: _____ OTHER: _____

*******This Section to be Completed by County Judge's Office*******

ASSIGNED AGENDA DATE: _____

REQUEST RECEIVED BY COUNTY JUDGE'S OFFICE: _____

COURT MEMBER APPROVAL _____ Date _____



Approved
Commissioners Court

OCT 24 2016

Variance Request for Septic System

Johnson County Subdivision Rules and Regulations state only one septic system per one (1) acre, Section VII A. To request a variance for the purpose of:

- installing a septic system on a lot or tract of less than an acre or
- structures*
two residences on one (1) septic system or
- installing a second septic system on a lot less than 2 acres

Please provide the following information. This request will be presented to the Commissioner's Court for their decision.

Owner Jana Volkman Date 09/27/2016

Contact Information: Phone no. 682-429-0864

Cell no. _____ Email address kim@aroc.biz

Property Information for Variance Request:

Property 911 address 3012 CR 919 Burleson, TX 76028

Subdivision name _____ Block _____ Lot _____

Lot size: 5 acres Size of existing residence: 2803 sq. ft.

Does this lot currently have a septic system? Yes No System type _____

ETJ: Yes - City _____ No

Is a part of the property located in a FEMA designated Floodplain? Yes No

Reason for request Putting in 1/2 bath in barn & want to pump to new septic system
Putting in 1/2 bath in barn & want to pump to new septic system

Provide the following with this request:

- Copy of your plat if property has been platted
- Copy of property deed
- Survey or drawing showing existing home, buildings, existing & proposed septic system locations



JOHNSON COUNTY Department of Public Works

1 North Main Street/Suite 305, Cleburne, TX 76033

development@johnsoncountytx.org - (817) 556-6380 - Fax (817) 556-6391

Application for 'Authorization to Construct' OSSF System

Office use only Authorization to Construct Permit # _____ Date _____
 FIRM Panel # _____ Precinct _____

This is to certify that: _____ has paid a
 Fee of: \$475.00 Aerobic Septic Systems \$375.00 All other Septic Systems

And has complied with the rules and regulations of this department for the construction of a private liquid waste disposal system - address and owner listed below. Inspector approval: ACM Date 9.20.16
 This AUTHORIZATION TO CONSTRUCT is only valid with INSPECTOR APPROVAL and is valid for 1 year from the issue date unless revoked for non-compliance with the rules and regulations of this department

To be completed and signed by Property owner

Property Owner's Name: Jana Volkman Ph. # 682-429-0964
 911 site address: 3012 CR 919 Burleson Tx Current mailing address: 801 Crystal Drive Burleson, Tx 76008
 Legal Description: Metes and Bounds Acreage: 5.0
 Recorded deed: Volume # 2014-3496 Page _____ Survey H.G. Catlett Abstract 185 -or-
 Subdivision: _____ Lot #: _____ Blk #: _____ Phase / Section #: _____

Please attach verification of legal description such as a copy of: Deed and Survey or other documentation

Type of Home / Building: New Existing Site Built Manufactured Bldg. Sq. Ft. 2803
 Single-Family # Bdrms 3 Multi-Family # Bdrms _____ Commercial # Employees _____

Well -or- Water Co. JCSUD * plus barn with powder bath detached from house

I certify that the above statements are true and correct to the best of my knowledge. Authorization is hereby given for Johnson County Public Works to enter upon the above described property for the purpose of site evaluation and investigation of an on-site sewage facility.

Jana Volkman (Signature of Owner) 9-21-2016 (Date)

.....
 Site Evaluator: James Davis License No. 37781
 Phone No: 817-429-2346 Other No. _____
 Mailing Address: 6935 Craig St City FW State TX Zip 76112
 Installer: Demaris Ledford License No. 21962
 Phone No: 817-596-9729 Other No. _____
 Mailing Address: 1170 Airport Rd City Aledo State TX Zip 76008

****System must be installed according to specifications on attached design****

COPY



JOHNSON COUNTY Department of Public Works

1 North Main Street/Suite 905
Cleburne, Texas 76033 - (817) 556-6380

**ON-SITE SEWAGE FACILITY
TECHNICAL INFORMATION FOR PERMIT**

PROFESSIONAL DESIGN REQUIRED: Yes No If Yes, professional design attached: Yes No

Designer Name: James M. Sims, P.E. License Type and No. 37791 (Texas P.E.)

Phone No. 817-429-7346 Other or Fax No. _____

Mailing Address: 6935 Craig Street City: Fort Worth State: Texas Zip: 76112

I. TYPE AND SIZE OF PIPING FROM: (Example: 4" SCH 40 PVC)

Stub out to treatment tank: 4" SCH 40 PVC

Treatment tank to disposal system: 4" SCH 40 PVC

II. DAILY WASTEWATER USAGE RATE: Q= 300 (gallons/day)

Water Saving Devices: Yes No

III. TREATMENT UNIT(S): Septic Tank Aerobic Unit

A. Tank Dimensions: 6x7' Liquid Depth (bottom of tank to outlet): 61"

Size proposed: 600 (gal)* Manufacturer: Aeris

Material/Model# Concrete

Pretreatment Tank: Yes No NA

Pump/Lift Tank: Yes No NA

B. OTHER Yes No If yes, please attach description.

IV. DISPOSAL SYSTEM:

Disposal Type: Aerobic Surface Application

Manufacturer and Model AERIS 600

Area Proposed: > 4,688 sf Area Required: 4,688 sf

V. ADDITIONAL INFORMATION:

NOTE - THIS INFORMATION MUST BE ATTACHED FOR REVIEW TO BE COMPLETED.

A. Soil/Site Evaluation B. Planning materials (If Applicable).

DO NOT BEGIN CONSTRUCTION PRIOR TO OBTAINING AUTHORIZATION TO CONSTRUCT. UNAUTHORIZED CONSTRUCTION CAN RESULT IN CIVIL AND/OR ADMINISTRATIVE PENALTIES.

SIGNATURE OF INSTALLER OR DESIGNER: [Signature] DATE: 22 Sep 16



JOHNSON COUNTY - OSSF SOIL EVALUATION FORM

Date Performed 7 Sep 16
 Owner's Name Jana Volkman
 Physical Address 3012 CR 919
 Site Evaluator James M. Sims, P.E. O.S. Number 37781 (Texas P.E.)
 Proposed Excavation Depth 3.0

*At least two soil evaluations must be performed on the site, at opposite ends of the disposal area. Please show the results of each soil evaluation on a separate table. Locations of soil evaluations must be shown on site drawing.
 *For subsurface disposal, soil evaluations must be performed to a depth of at least 2 ft below the proposed excavation depth. For surface disposal, the surface horizon must be evaluated.
 * Please describe each soil horizon and identify any restrictive features in the space provided below. Draw lines at the appropriate depth.

Soil Boring Number B-1

Depth Inches	Textural Class	Drainage/Mottles Water Table	Restrictive Horizon	Comments
<u>12</u>	<u>lb</u>	<u>NO</u>	<u>NO</u>	<u>Brown to Red-tan Loamy sand</u>
<u>24</u>				
<u>36</u>				
<u>48</u>				
<u>60</u>				<u>Red-tan Sandy clay loam</u>

Soil Boring Number B-2

Depth Inches	Textural Class	Drainage/Mottles Water Table	Restrictive Horizon	Comments
<u>12</u>	<u>lb</u>	<u>NO</u>	<u>NO</u>	<u>Brown to Red-tan Loamy sand</u>
<u>24</u>				
<u>36</u>				
<u>48</u>				
<u>60</u>				

I certify that the above statements are true and are based on my own field observations.

ATTESTED BY
 Signature [Signature]

Site Evaluator No. 37781 (Texas P.E.)

6936 Craig Street, Fort Worth, Texas 76112

817-429-2346

Address

Phone

The test data and other information on this report is required by Johnson County. The design, construction and installation of each system is based upon specific conditions affecting each lot or tract and must be subsequently approved by Johnson County



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Revised 7/10/2012

PLATE #1A

JOHNSON COUNTY - SITE EVALUATION REPORT

Date 7 Sep 16
 Name Jana Volkman Phone [xx]
 Address [xx]
PROPERTY LOCATION
 Lot -- Block -- Subdivision --
 Street/Road Address 3012 CR 919
 Additional Information H.G. Catlett Survey, A # 185

SCHEMATIC OF LOT OR TRACT

Compass North, adjacent street(s), direction of slope, property lines
 Location of natural, constructed or proposed drainage ways, water impoundment areas, cut or fill banks, sharp slopes and buildings.
 Location of existing or proposed water wells.
 Location of (numbered) soil boring and dug pits (show distance of each hole from property line or other discernible point).

[SEE PLATE #1]

Presence of 100 year flood zone	Yes _____	No <u>X</u>	Firm Panel # _____
Presence of upper water shed	Yes _____	No <u>X</u>	
Presence of adjacent ponds, streams, water impoundment area	Yes _____	No <u>X</u>	
Existing or proposed water well in nearby area	Yes _____	No <u>X</u>	

ATTESTED BY:
 Signature James M. Sims, P.E.


Site Evaluator No. 37781 (Texas P.E.)

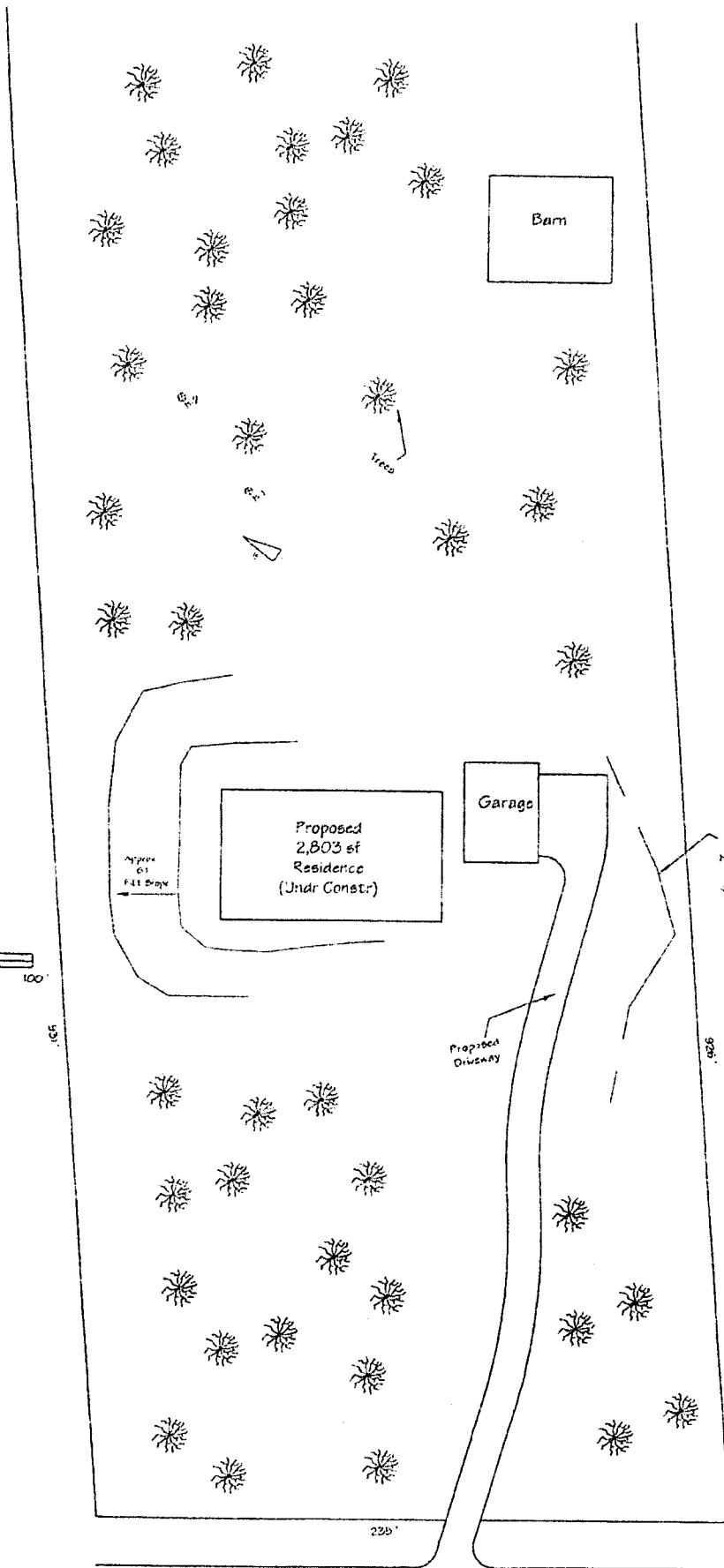
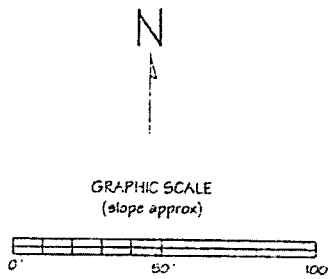
6925 Craig Street, Fort Worth, Texas 76112 817-429-2246
 Address Phone

The information on this report is required by Johnson County. The design, construction and installation of each system is based upon specific conditions affecting each lot or tract and must be subsequently approved by Johnson County.

Revised 7/10/2012

[xx] - NOT KNOWN

 COPY PLATE #1A

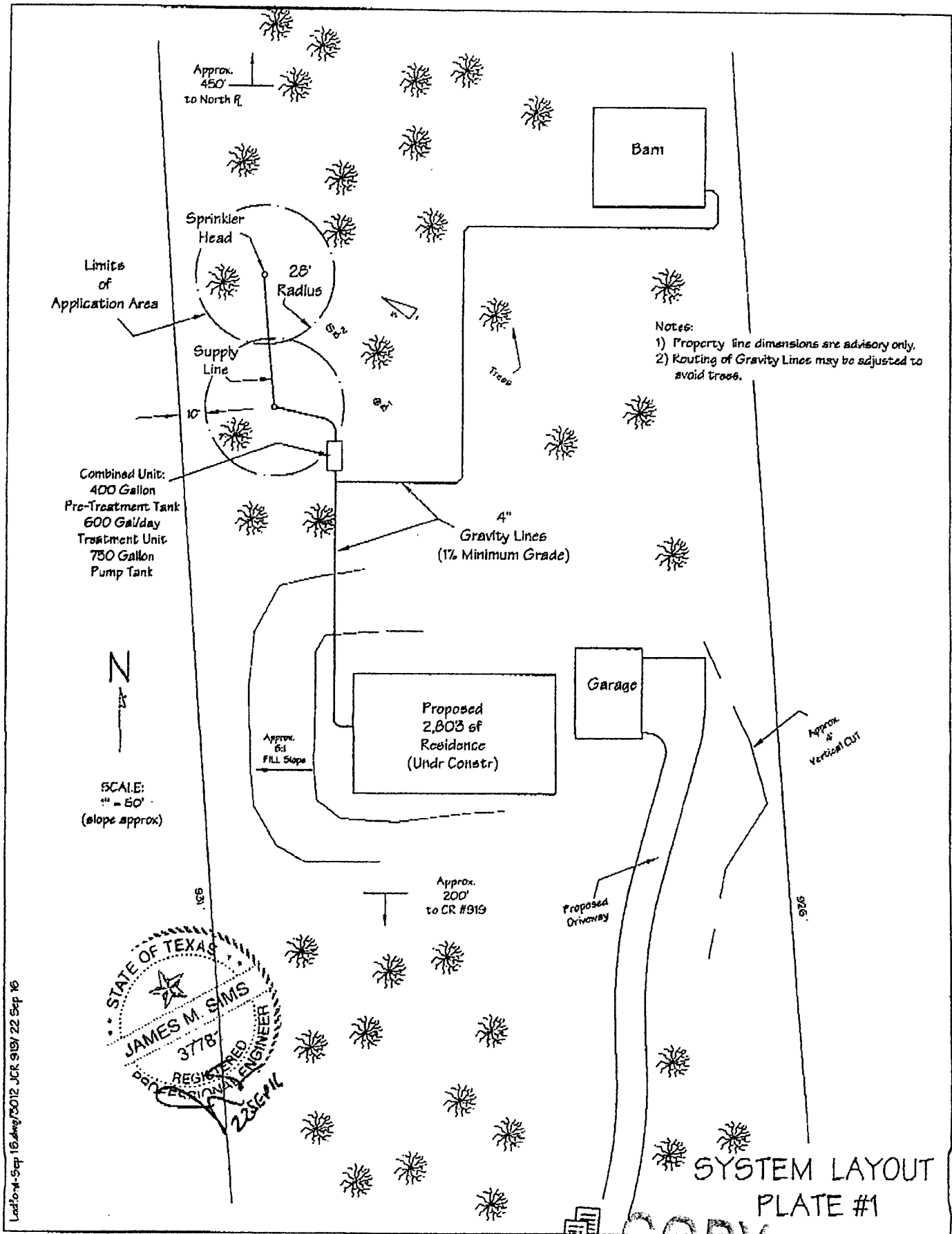


3012 JCR 919

PLATE #1



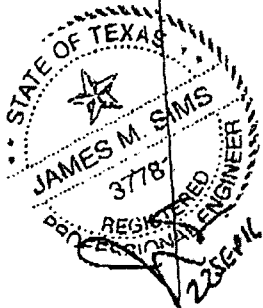
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Notes:
 1) Property line dimensions are advisory only.
 2) Routing of Gravity Lines may be adjusted to avoid trees.

Combined Unit:
 400 Gallon
 Pre-Treatment Tank
 600 Gal/day
 Treatment Unit
 750 Gallon
 Pump Tank

SCALE:
 1" = 50'
 (slope approx)



Lead to: 4-Sep-16 Aug/2012 JCR 918/ 22 Sep 16

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James M. Sims, P.E. Geotechnical
6935 CRAIG ST.
FORT WORTH, TEXAS 76112
817-428-2346
Engineer.

22 Sep 16

Ledford Services
1170 Old Airport Road
Aledo, Texas 76008

ATTN: Dennis Ledford

Re: Proposed Effluent Disposal Design, On-Site Surface Application, 3012 CR 919,
H.G. Catlett Survey, A #185, Johnson County, Texas

Gentlemen:

This letter and attachments will serve as the design document for the installation of a proposed On-Site Sewage Facility (OSSF) at the above referenced site. Prior to system installation, this report shall be submitted to the Johnson County Department of Public Works for review and approval.

Recommendations contained herein are representative of those presented in the Texas Commission on Environmental Quality (TCEQ) document *Title 30, Texas Administrative Code, Chapter 285, On-Site Sewage Facilities*, effective 27 Dec 12. A copy of *Title 30 TAC Chapter 285* is available from the TCEQ, Austin, Texas.

This design is representative of the current "State of the Art" in effluent disposal system design. It should function within normal limits and expectations without causing significant threat or harm to existing water supply systems, the public health or the threat of pollution or nuisance conditions. However, due to the vagaries of both nature and man, no warranty of this design performance is expressed or implied.

Approximate location of the proposed 2,803 square foot residence and occasional use barn (four-bedroom design equivalent) are shown on the *System Layout (Plate #1)*. "Water saving devices" are to be installed in both structures, reducing the estimated daily flow from 375 gallons/day to 300 gallons/day.

The area proposed for effluent dispersal is moderately wooded. Site slope in the proposed disposal area is less than 5%. No water wells are located on or near the site.

A *Site Evaluation* was conducted as recommended in §285.30 (*Site Evaluation* of the aforementioned *TITLE 30 TAC CHAPTER 285*) and is included as *Plate #1A*.

In order that this site be utilized efficiently for treated effluent dispersal it will be necessary that the limits of the application area be located ten feet (10') from the property lines (cf *Plate #1*), thus a "commercial irrigation timer" shall control pump operation (cf *TITLE 30 TAC CHAPTER 285* §285.33(d)(2)(G)(i)).

Based upon these data the site may be deemed suitable for the installation of a treated surface discharge disposal system.

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The following paragraphs will address the requirements of *TITLE 30 TAC CHAPTER 285* as previously cited.

APPLICATION REQUIREMENTS

(a) Technical Report:

I - Basis of Design - The following design parameters have been utilized:

- 1) Daily Flow = 300 gallons/day (average)
- 2) Sewage Application Rate (See Figure #1, *TITLE 30 TAC CHAPTER 285*)
- 0.064 gallons/square foot/day
- 3) Minimum Required Application Area = 4,688 square feet
- 4) Wastewater Treatment Type = Proprietary, listed on the TCEQ *list of approved systems* (available from the executive director, TCEQ)
- 5) Uniform Application of Effluent = to be provided by sprinklers (impact or gear driven rotary design) having a maximum inlet pressure less than or equal to 40 psi. Low angle (<15 degrees), non-aerosol nozzles shall be used.

II - Construction Drawings - Not required for Proprietary systems.

III - Calculations -

Daily Flow = 300 gallons/day
 Sewage Application Rate = 0.064 gal/sf/day
 Required Area = $300/0.064 = 4,688$ sf
 # of Application Areas = 2
 Area/Application Area = 2 @ 28.0' radius = 4,926 sf
 Gross Application Area = 4,926 sf

IV - System Flow Diagram - see Plate #1

(b) Site Drawing - See Plate #1

(c) **Landscape Plan** - The area to be irrigated by the system is shown on *Plate #1*. Brush shall be cleared and low hanging branches (say less than 10 feet above the ground) shall be trimmed, un-vegetated areas shall be sodded or seeded with an appropriate grass type prior to system start-up. Before system start-up, the vegetation shall be capable of growth. There shall be nothing in the surface application area within ten feet of the sprinkler which will interfere with the uniform application of effluent.

(d)/(e)/(f)

Maintenance Requirements/Maintenance Contract/On-going Maintenance - Prior to system operation an acceptable maintenance contract must be in effect between the system owner and a valid maintenance company. All maintenance contract requirements shall meet the minimum requirements set forth in §285.7 (paragraphs d, e, f) of the previously cited *TITLE 30 TAC CHAPTER 285*.

(g) It should be noted that paragraph (g) of §285.7 requires that an "Affidavit to The Public" be on file with the County Clerk's office and added to the Real Property Deed for the property on which the system is located. An example of such an Affidavit is included in *TITLE 30 TAC CHAPTER 285* (cf §285.90, Figure 2).

(h) **Testing and Reporting** - The maintenance company employed shall inspect the system as directed by the Testing and Reporting Schedule as included in *TITLE 30 TAC CHAPTER 285* (cf §285.91, Table IV). A recommended *Sample Testing and Reporting Record* form is included in *TITLE 30 TAC CHAPTER 285* (cf §285.90, Figure 3).
 The maintenance company shall report any responses to homeowner complaints and the results of its maintenance findings to the Johnson County Department of Public Works within ten days of the specified reporting frequency.

(i) **Effluent Disinfection** - Treated Effluent shall be disinfected prior to surface application. An in-line chlorinator shall be acceptable for this purpose. Ozonation and ultraviolet radiation are other approved disinfection methods. The efficiency of the disinfection procedure will be established by monitoring either the chlorine residual or fecal coliform count from representative grab samples as directed in *TITLE 30 TAC CHAPTER 285* (cf §285.91, Table IV).



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MATERIALS AND EQUIPMENT

Prevention of Unauthorized Access to On-Site Sewage Facilities (OSSFs) -

The methods and materials employed to prevent unauthorized access to this proposed OSSF shall comply with *TITLE 30 TAC CHAPTER 285 §285.38*.

Pre-Treatment Tank - Install a 400 gallon (minimum volume) pre-treatment tank prior to the treatment unit to collect non-biodegradable solids.

Treatment Unit - As previously specified, the treatment unit shall be included on the aforementioned list of approved systems. The unit shall have a *minimum* daily capacity of 480 gallons.

Pump Tank - A 750 gallon or greater gross volume (volume from the tank bottom to the tank inlet) tank may be utilized for the pump tank. The tank shall have one day's effluent flow storage capacity (300 gallons) between the "pump-on" and "alarm-on" levels and a one-third of a day's effluent flow excess storage capacity (100 gallons) above. The pump tank shall be placed downstream from the treatment unit and shall store the treated effluent until a surface application cycle is chosen.

Tank Waterproofing, Risers, Backfill Around Tanks - Tanks shall be waterproof. Risers shall be provided on the tank tops to permit access for tank pumping or pump maintenance/replacement. A minimum of four (4) inches of sand, sandy loam, clay loam or pea gravel, free of rock larger than 0.5" diameter shall be placed under and around all tanks. Class IV soils and gravel larger than 0.5" diameter shall not be used as backfill material.

Pipes and Fittings - Schedule 40 PVC pipe shall be used in the installation. All distribution piping, fittings, valve cover boxes and sprinkler tops shall be permanently colored purple in order to identify the system as a reclaimed water system.

A union connection should be installed in the supply line to provide for pump maintenance/replacement. Three-quarter inch or one inch PVC, as required to provide adequate pressure/flow, shall be used to supply the individual sprinkler heads.

Pump, Float Controls and Alarm System - The pump may be of either submersible or non-submersible type, capable of producing a minimum flow of 20 gallons/minute at between 35 and 40 psi. Pump controls should include a manual over-ride to turn the pump on/off and a high water alarm/pump activation system (utilizing a separate "mercury" float switch, on a separate circuit from the pump system and connected to a placarded warning light/audible alarm located in/on/nearby the residence in a location which will draw attention to pump failure. This alarm switch should be set at the 350 gallon level in the pump tank in order to provide a small emergency capacity (150 gallons) until system repair is effected. All electrical connections shall be made outside the pumping chamber.

Electrical Wiring - All wiring shall conform to *TITLE 30 TAC CHAPTER 285 (cf §285.34 (c))*.

Commercial Irrigation Timer - As previously mentioned, this system will spray treated effluent to within 10 feet of property lines, a "commercial irrigation timer" set to spray between midnight and 5AM shall control pump operation.

Sprinkler Type - Sprinklers shall be as designated above under *Basis of Design (Item #5)*. Rainbird "Maxi-Paw" sprinkler heads (or equivalent), adjustable for effluent delivery rate, spray radius and central spray angle are acceptable. Sprinkler heads placed at an elevation greater than the pump tank shall be provided with check valves to prevent return of effluent to the pump tank.

Water Softener - If so equipped the residence water softener must comply with *TITLE 30 TAC CHAPTER 285 §285.37*. In accordance with this paragraph, the water softener drain line must bypass the treatment system and connect directly to the pump tank.

SYSTEM INSTALLATION

- 1) Prior to OSSF installation, lot lines shall be located so as to insure accurate placement of the proposed OSSF.
- 2) Prior to OSSF installation, all underground utilities shall be located and staked.
- 3) The treatment unit, pre-treatment and pump tanks, and distribution system shall be installed approximately as shown on *Plate #1*. All supply lines shall be placed a minimum of 12 inches below grade.

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SYSTEM MAINTENANCE

In addition to the aforementioned effluent quality maintenance requirements, the following procedures are recommended:

- 1) System operation and maintenance should be in accordance with the manufacturer's recommendations.
- 2) Sludge accumulation in the tanks should be monitored and pumped as required.
- 3) Pump and control operation (including alarms) should be checked annually.

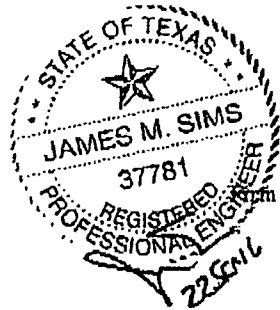
CHANGED CONDITIONS:

In the event that construction activities reveal any conditions which might call the validity of these recommendations into question, this office shall be notified so that the conditions may be evaluated as to their effect upon this design.


I trust that this design will meet the requirements of your site. If you have any questions, or if I may be of further service, please call.

Sincerely,

James M. Sims, P.E.



Registration #
F-4282

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WARRANTY DEED

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Date: FEBRUARY 16, 2016

GF# 14052FW DB

Grantor: R A DEVELOPMENT LTD., A TEXAS LIMITED PARTNERSHIP

Grantor's Mailing Address: 240 E. RENFRO, STE #202, BURLESON, TEXAS 76028

Grantee: JANA L. VOLKMAN, A SINGLE PERSON

Grantee's Mailing Address: 801 CRYSTAL DRIVE, BURLESON, TEXAS 76028

Consideration: TEN AND NO/100----(\$10.00)----DOLLARS and other good and valuable consideration, the receipt of which is hereby acknowledged and confessed;

Property (including any improvements):

BEING THAT CERTAIN TRACT OF LAND SITUATED IN JOHNSON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS ON EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF FOR ALL PURPOSES.

Reservations from Conveyance: NONE

Exceptions to Conveyance and Warranty:


THIS CONVEYANCE IS EXECUTED, DELIVERED AND ACCEPTED SUBJECT TO AD VALOREM TAXES FOR THE CURRENT YEAR, ROLLBACK TAXES DUE TO THIS CONVEYANCE OR GRANTEE'S USE OF THE SUBJECT PROPERTY, MAINTENANCE FUND LIENS, ZONING ORDINANCES, UTILITY DISTRICT ASSESSMENTS AND STANDBY FEES, IF ANY, ANY AND ALL VALID UTILITY EASEMENTS CREATED BY THE DEDICATION DEED OR PLAT OF THE SUBDIVISION IN WHICH SAID REAL PROPERTY IS LOCATED, RECORDED EASEMENTS, MINERAL RESERVATIONS AND LEASES, RESTRICTIONS, COVENANTS, CONDITIONS, RIGHTS OF WAY EASEMENTS, IF ANY, AFFECTING THE HEREIN DESCRIBED PROPERTY BUT ONLY TO THE EXTENT THE SAME ARE VALID AND SUBSISTING.

Grantor, for the consideration and subject to the Reservations from Conveyance and Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and hold it to Grantee, Grantee's heirs, executors, administrators, successors, or assigns forever. Grantor hereby binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the property to Grantee and Grantee's heirs, executors, administrators, successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the Reservations from Conveyance and Exceptions to Conveyance and Warranty.

When the context requires, singular nouns and pronouns include the plural.

R A DEVELOPMENT LTD., A TEXAS LIMITED PARTNERSHIP

BY: BRANSON MANAGEMENT, LLC, A TEXAS LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER

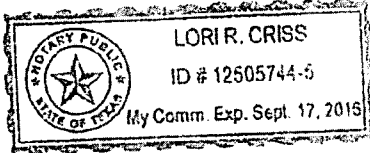
BY: 
~~G. WAYNE BRANSON, VICE PRESIDENT~~

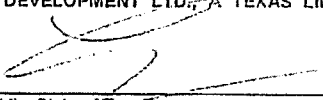
DWB Dylan Branson DWB

(Acknowledgment)

THE STATE OF TEXAS
COUNTY OF Johnson

This instrument was acknowledged before me on the 16 day of February, 2016, by
DYLON WAYNE BRANSON, VICE PRESIDENT OF BRANSON MANAGEMENT, LLC, A TEXAS LIMITED
LIABILITY COMPANY, GENERAL PARTNER OF R A DEVELOPMENT LTD., A TEXAS LIMITED
PARTNERSHIP.





Notary Public, State of Texas
Notary's Name (printed):
Notary's commission expires:

NOTICE: This document affects your legal rights. Read it carefully before signing.

AFTER RECORDING RETURN TO:
JANA L. VOLKMAN, A SINGLE PERSON
881 CRYSTAL DRIVE
BURLESON, TEXAS 76028

PREPARED IN THE LAW OFFICE OF:
NEWMAN & LAWLER
A PROFESSIONAL CORPORATION
ATTORNEYS AT LAW
200 BAILEY AVE., SUITE 100
FORT WORTH, TEXAS 76107

LEGAL DESCRIPTION

A TRACT OF LAND SITUATED IN THE H.G. CATLETT SURVEY, ABSTRACT NO. 186, JOHNSON COUNTY, TEXAS, BEING A PORTION OF THAT TRACT CONVEYED TO R A DEVELOPMENT LTD., IN THAT DEED RECORDED IN INSTRUMENT NUMBER 11687, DEED RECORDS, JOHNSON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS;

BEGINNING AT A 1/2 INCH IRON ROD SET IN THE SOUTHWESTERLY LINE OF SAID R A DEVELOPMENT LTD. TRACT AND IN COUNTY ROAD 919 (VARIABLE WIDTH R-O-W) FROM WHICH THE MOST WESTERLY CORNER OF SAID R A DEVELOPMENT LTD. BEARS N 44°58'55" W, 233.83 FEET;

THENCE LEAVING SAID SOUTHWESTERLY LINE OF SAID R A DEVELOPMENT LTD. TRACT N 44°57'42" E, A DISTANCE OF 931.53 FEET TO A 1/2" IRON ROD SET WITH CAP STAMPED "RPLS 5544" IN THE NORTHEASTERLY LINE OF SAID R A DEVELOPMENT LTD. TRACT;

THENCE S 40°49'00" E ALONG THE NORTHEASTERLY LINE OF SAID R A DEVELOPMENT LTD. TRACT, A DISTANCE OF 235.34 FEET TO A 1/2" IRON ROD SET WITH CAP STAMPED "RPLS 5544";

THENCE LEAVING SAID NORTHEASTERLY LINE S 44°57'42" W, A DISTANCE OF 926.74 FEET TO A 1/2" IRON ROD SET WITH CAP STAMPED "RPLS 5544" IN THE SOUTHWESTERLY LINE OF SAID R A DEVELOPMENT LTD. TRACT AND IN COUNTY ROAD 919 (VARIABLE WIDTH R-O-W);

THENCE N 41°58'55" W ALONG SAID SOUTHWESTERLY LINE OF SAID R A DEVELOPMENT LTD. TRACT AND ALONG COUNTY ROAD 919 (VARIABLE WIDTH R-O-W), A DISTANCE OF 235.03 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.006 ACRES OF LAND. MORE OR LESS.

**** Electronically Recorded Document ****

Johnson County

Becky Ivey
Johnson County Clerk
Cleburne, TX

Document Number: 2016-3496

Recorded As : ERX-WARRANTY DEED

Recorded On: February 18, 2016

Recorded At: 08:28:27 am

Number of Pages: 4

Recording Fee: \$34.00

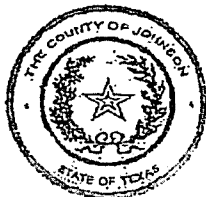
Parties:

Direct-
Indirect-

Receipt Number: 54275

Processed By: Angela Finney

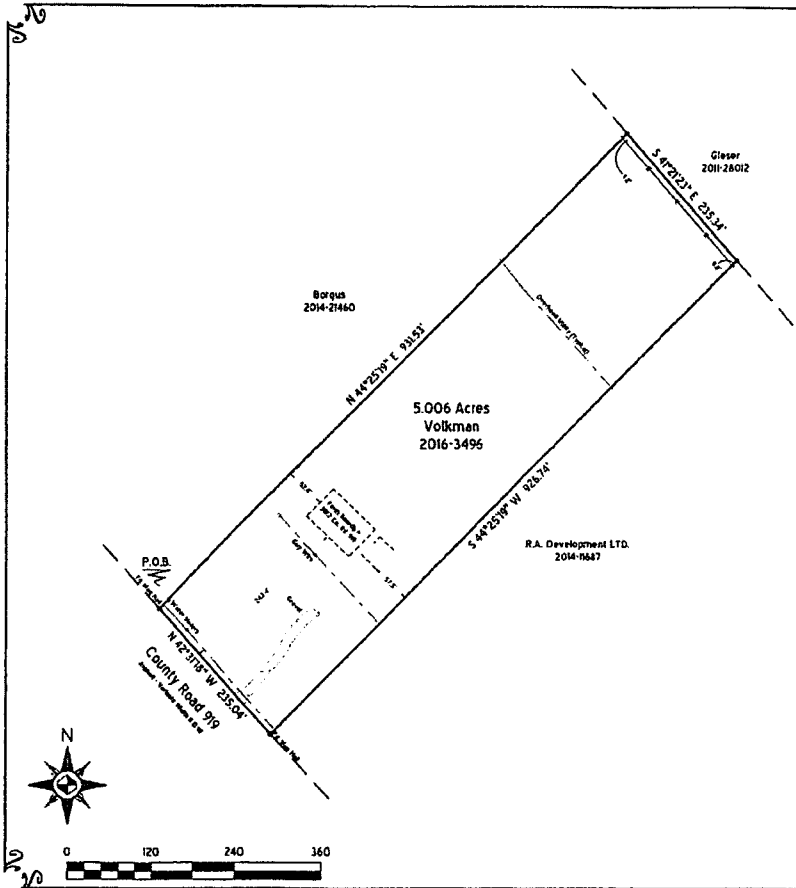
THIS PAGE IS PART OF THE INSTRUMENT



I hereby certify that this instrument was filed on the date and time stamped hereon and was duly recorded in the Volume and Page of the named records in Johnson County, Texas.

Any provision herein which restricts the sale, rental or use of the described Real Estate because of color race is invalid and unenforceable under Federal law.

Becky Ivey
BECKY IVEY, COUNTY CLERK
JOHNSON COUNTY, TEXAS



DEED DESCRIPTION

BEING A 5.004 ACRES TRACT OF LAND OUT OF THE H.G. CATLETT SURVEY, ABSTRACT No. 185, JOHNSON COUNTY, TEXAS; AND BEING THE SAME TRACT OF LAND AS DESCRIBED IN INSTRUMENT No. 2014-3496 O.R.J.C.T.; AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A FOUND MAG NAIL AT THE MOST SOUTHERLY CORNER OF THAT CERTAIN BORGUS TRACT DESCRIBED IN INSTRUMENT No. 2014-21460 O.R.J.C.T. IN COUNTY ROAD 919 FOR THE MOST WESTERLY AND BEGINNING CORNER OF THIS TRACT, WHENCE A FOUND 1/2" IRON ROD AT THE MOST WESTERLY CORNER OF SAID BORGUS TRACT BEARS N 42°31'18" W 233.98 FEET.

THENCE N 44°25'19" E 931.53 FEET ALONG THE NORTHEASTERLY LINE OF SAID BORGUS TRACT TO A FOUND 1/2" IRON ROD CAPPED "RPLS 5544" AT THE MOST EASTERLY CORNER OF SAID BORGUS TRACT FOR THE MOST NORTHERLY CORNER OF THIS TRACT.

THENCE S 41°27'33" E 235.34 FEET TO A FOUND 1/2" IRON ROD CAPPED "RPLS 5544" IN THE NORTH LINE OF THAT CERTAIN R.A. DEVELOPMENT LTD. TRACT DESCRIBED IN INSTRUMENT No. 2014-16687 D.R.J.C.T. FOR THE MOST EASTERLY CORNER OF THIS TRACT.

THENCE S 44°25'19" W 926.74 FEET TO A FOUND MAG NAIL IN SAID COUNTY ROAD 919 FOR THE MOST SOUTHERLY CORNER OF THIS TRACT.

THENCE N 42°31'18" W 235.04 FEET ALONG SAID COUNTY ROAD 919 TO THE POINT OF BEGINNING.

BEARINGS DERIVED FROM G.P.S. OBSERVATIONS PERFORMED BY CARTER SURVEYING & MAPPING, INC. AND REFLECT N.A.D. 1983, TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202.

MICAH HAMILTON, R.P.L.S., NO. 5865, DO CERTIFY THAT THE ABOVE DESCRIBED PROPERTY WAS SURVEYED ON THE GROUND BY ME OR UNDER MY DIRECT SUPERVISION. VISIBLE CORNER MARKS, ENCROACHMENTS, AND OVERLAPS ARE AS SHOWN ON THIS PLAT OR MAP ATTACHED HERETO. THE AREA AND BOUNDARY WERE DETERMINED WITH RESPECT TO RECORDED EVIDENCE AS SHOWN AND THE INFORMATION PROVIDED IS TRUE & CORRECT TO THE BEST OF MY KNOWLEDGE. IN ADOPTION, I AM NOT INTENDING TO EXPRESS OPINION OR WARRANTY OR GUARANTEE OF OWNERSHIP AND THIS SURVEY IS SUBJECT TO ALL APPLICABLE COPYRIGHT LAWS FROM THE DATE OF THIS SURVEY. TO PROTECT ALL PARTIES INVOLVED, THIS SURVEY IS ONLY VALID IF ORIGINAL SEAL & SIGNATURE APPEAR ON THE FACE OF THIS SURVEY IN BLUE INK.

Micah Hamilton

MICAH HAMILTON, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5865
 CARTER SURVEYING & MAPPING, 208 S. FRONT STREET, ALEDO, TX 76008
 AUGUST 01 - JULY 31, 2016



NOTE:
 IF NO ABSTRACT OF TITLE OR TITLE COMMITMENT WAS PROVIDED TO THE SURVEYOR, RECORD RESEARCH DONE BY THE SURVEYOR WILL MAKE ONLY FOR THE PURPOSE OF DETERMINING THE BOUNDARY OF THE PROPERTY AND OF THE ADJOINING PARCELS. RECORD DOCUMENTS OTHER THAN THOSE SHOWN ON THIS SURVEY MAY EXIST AND CHANGE THIS PROPERTY.

IF OFFICIAL FLOOD HAZARD INFORMATION HAS NOT BEEN REVIEWED DURING THE COURSE OF THIS SURVEY, PLEASE VISIT THE OFFICIAL FLOOD HAZARD INFORMATION PLEASE VISIT THE OFFICIAL FLOOD HAZARD INFORMATION WEBSITE AT [WWW.FLOOD.GOV](http://www.flood.gov)

IF UNDISCOVERED UTILITIES WERE NOT LOCATED DURING THIS SURVEY, CALL THE APPROPRIATE UTILITY PROVIDERS BEFORE EXCAVATION OR CONSTRUCTION.

PLEASE CONSULT ALL APPLICABLE GOVERNING ENTITIES REGARDING RULES & REGULATIONS THAT MAY AFFECT CONSTRUCTION ON THIS PROPERTY.

ALL CORNERS ARE FOUND BY IRON RODS CAPPED "5544" UNLESS OTHERWISE NOTED.

CARTER SURVEYING
 & MAPPING, INC.
 208 S. FRONT STREET - P.O. BOX 451 - ALEDO, TX - 76008
 (714) 877-5263 (LAND) (714) 877-4410 (3)

FLOOD ZONE NOTE:

REFERENCE TO THE FLOOD INSURANCE RATE MAP (FIRM) CORRELATES
 MAP NO. 22218-0002 DATED DECEMBER 4, 2011, THE SUBJECT
 PROPERTY IS LOCATED WITHIN THE FOLLOWS FLOOD ZONE:
 ZONE X: AREAS DETERMINED TO BE SUBJECT TO THE 0.2% ANNUAL
 CHANCE FLOOD PLAIN.

LEGAL DESCRIPTION

A TRACT OF LAND SITUATED IN THE H.G. CATLETT SURVEY, ABSTRACT NO. 185, JOHNSON COUNTY, TEXAS, BEING A PORTION OF SAID TRACT CONVEYED TO R. A. DEVELOPMENT LTD. BY DEED RECORDED IN INSTRUMENT NUMBER 11487, DEED RECORD, JOHNSON COUNTY, TEXAS, AND SAID WORK PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
 BEGINNING AT A NAD 83 BOUND FOR THE MOST SOUTHWESTLY CORNER OF A TRACT OF LAND CONVEYED TO RICHARD BORGIE AND SPOUSE, TEXAS ESTATE IN DEED RECORDED IN INSTRUMENT NO. 1144-1140 SUBJECT;
 THENCE N 49°17' E ALONG THE SOUTHWESTERN LINE OF SAID BORGIE TRACT, A DISTANCE OF 181.53 FEET TO A 1/2" IRON ROD FOUND WITH CAP STAMPED "1815 3544" PER THE MOST EASTLY CORNER OF SAID BORGIE TRACT BY THE WYCHORDS LINE OF SAID R. A. DEVELOPMENT TRACT;
 THENCE S 23°34' E ALONG SAID WYCHORDS LINE OF SAID R. A. DEVELOPMENT TRACT, A DISTANCE OF 233.34 FEET TO A 1/2" IRON ROD SET WITH CAP STAMPED "1815 3544";
 THENCE LEAVING SAID SOUTHWESTERN LINE S 44°37' W, A DISTANCE OF 924.74 FEET TO A 1/2" IRON ROD FOUND WITH CAP STAMPED "1815 3544" IN SOUTHWESTLY LINE OF SAID R. A. DEVELOPMENT TRACT AND BY CORNER ROAD 919 (VARIABLE WITH R-0-W);
 THENCE N 41°51' W ALONG SAID SOUTHWESTERN LINE, A DISTANCE OF 233.34 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.006 ACRES OF LAND, MORE OR LESS.

EASEMENT NOTES:

1. A 10' WATER EASEMENT RECORDED IN VOLUME 131, PAGE 61, DEED RECORD, JOHNSON COUNTY, TEXAS, AFFECTS SUBJECT PROPERTY AS UNDER MENTION.
2. A 20' PAVEMENT EASEMENT RECORDED IN VOLUME 431A, PAGE 829, DEED RECORD, JOHNSON COUNTY, TEXAS, DOES NOT AFFECT SUBJECT PROPERTY.

NOTE:

THIS SURVEY HAS BEEN PREPARED WITHOUT THE ASSISTANCE OF A TITLE COMMITTEE AND IS SUBJECT TO ALL EASEMENTS, RIGHTS-OF-WAY AND OTHER MATTERS OF RECORD THAT MAY AFFECT THE SUBJECT PROPERTY.

SURVEYOR'S CERTIFICATE:

I, MAIT POWELL, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 3344, DO HEREBY CERTIFY THAT THE PLAT SHOWS HEREON ACCURATELY REPRESENTS THE PROPERTY AS DETERMINED BY ME ON THE OCEANIC SURVEY MADE UNDER MY DIRECTION AND SUPERVISION, THERE ARE NO IMPROVEMENTS OR INTERESTS EXCEPT AS SHOWN, AND ALL CORNERS ARE AS SHOWN.



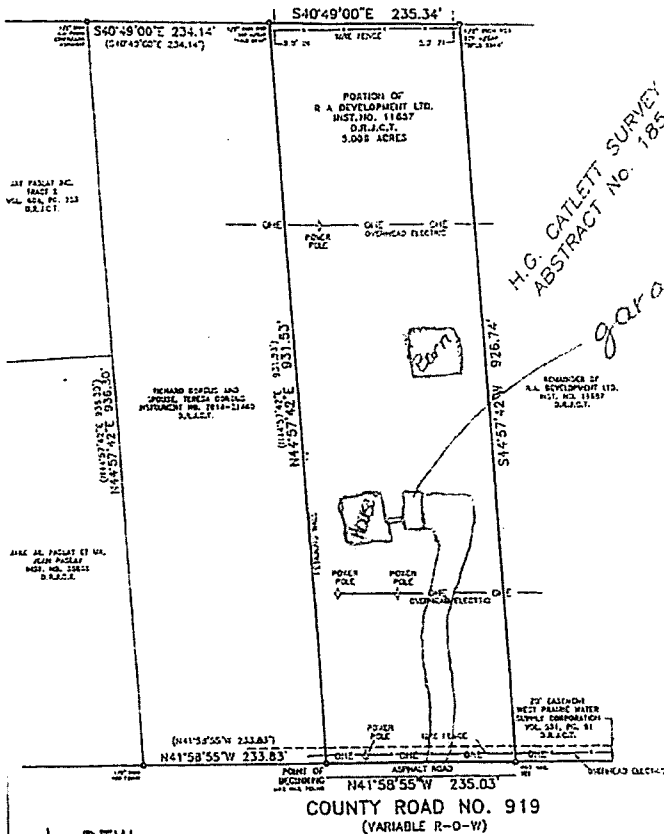
Mait Powell
 MAIT POWELL
 REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF TEXAS
 NO. 3344
 DATE: 07/04/16

A BOUNDARY SURVEY OF
5.006 ACRES

OF LAND SITUATED IN THE
H.G. CATLETT SURVEY
ABSTRACT NO. 185

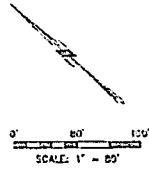
JOHNSON COUNTY, TEXAS

A 5.006 ACRE TRACT OF LAND SITUATED IN THE H.G. CATLETT SURVEY, ABSTRACT NO. 185, JOHNSON COUNTY, TEXAS, BEING A PORTION OF SAID TRACT CONVEYED TO R. A. DEVELOPMENT LTD. BY DEED RECORDED IN INSTRUMENT NUMBER 11487, DEED RECORD, JOHNSON COUNTY, TEXAS.



*H.G. CATLETT SURVEY
 ABSTRACT No. 185*

garage



*Approximate location of driveway,
 detached garage (2 car)
 wellway to about 2800 Ac sqft
 Single family house and future
 detached barn.*